

PB# 73-49

Balmville Estates

Balmville Ketabie Site Plan 73-49

approved Oct 16, 1973
filed with T.C. office
Oct. 12, 1973 11:05 AM P.2



STOCK No. 752 $\frac{1}{3}$

MADE IN U.S.A.

Town of New Windsor Planning Board

Name of Applicant BALMVILLE Estates INC.

Address of Applicant 319 Highland Ave Maybrook NY

Site Location FORGE HILL Road

Site Plan Approval Check Sheet

Sec. 48-34. Approval of site development plans by the Planning Board.

_____ A. Pre-submission.

_____ B. Final Submission.

_____ 1. Letter of Application

_____ 2. Maps - 3 copies

C. Plan Requirements

1. Legal Data

(a) The names of all owners on record of all adjacent property. NO NOTE # (1)

(b) Existing school, zoning and special district boundaries. NO NOTE # (2)

(c) Building boundaries. yes

(d) Setbacks. OK

(e) Existing streets. OK

(f) Easements. NA

2. Existing Buildings. OK

D. Development Data

1. Title OK

2. Scale - north point OK

3. Name & address of property owner on record OK

Name & address of applicant, if different -

Engineer and/or architect or planner OK

4. Proposed use of building OK

5. Means of access or egress OK

6. Offstreet parking and loading areas SEE NOTE # (3)

7. Location of existing proposed water & sewer lines and apperatures NO (4)

8. Location, power, type and hours of proposed lighting NA

9. Signs (all) NA (5)

10. Screening NA (6)

11. Storm water systems NO (7)

12. Location of uses not requiring a structure NA

13. Site plan of stages complete to ultimate NA

E. Additional data which may be required

1. Survey
2. Deeds or restrictive covenants
3. Topo
4. Watercourses (existing)
5. Woods
6. Trees over 12" in diameter
7. Proposed lots, easements, streets - size and location
8. All proposed grading
9. Proposed landscaping by professional landscape architect

Received

OK
N/A
NOTE - 8
N/A
N/A
N/A
N/A
N/A
N/A

WATER, SEWER AND HIGHWAY DEPARTMENTS Notified ☒ Approved ☐

NOTES AND SPECIAL CONDITIONS:

BALMORUE ESTATES

MAY 2 1971

- ① LINE DEFINING LANDS of ADAMS FROM LANDS of SCHOONMAKER NOT AVAILABLE.
- ② Zoning in the REAR is RB (single family)
- ③ 40 PARKING STALLS REQUIRED
- ④ WATER & SEWER LINES NOT LOCATED
- ⑤ SIGN REQUEST NOT INCLUDED.
- ⑥ SCREENING REQUIRED IN REAR.
- ⑦ STORM WATER FLOW NEEDS DEFINING.
- ⑧ FINAL TOPO REQUIRED TO INDICATE PROPOSED FINAL GRADES.

Mr. Adams.
Highland Ave. Maybrook
Send copy of above.

Date

March 12, 71

Application No. _____

TOWN OF NEW WINDSOR PLANNING BOARD

APPLICATION FOR SITE APPROVAL

Name

Balmwill Estate Inc Harold Adams pres

Address

319 Highland Maybrook N.Y.

1. Owner of the property

Same

2. Location of the property

Forg. Hill Road

adjoining Market Beverages

3. Zone area

L.B.

4. Nature of business

1

5. Lot size: Front

100

Rear

100

Depth

205

6. Building setbacks: Front yard

40

Rear yard

45

Side yards 15 - 35

7. Dimensions of new building

50 wide - 120 deep

Addition _____

If addition, state front, side, rear of existing structure:

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Zoning Ordinance be obtained, with particular attention to Article X to avoid rejection of the plans.

I do hereby affirm that all fees, permits and charges applicable under the laws and ordinances of the State of New York and the Town of New Windsor will be paid and that any expense for advertising of Public Hearing or meetings will be paid. Also, any legal or engineering fees for review of this project. Fees are due and payable upon submission of preliminary plans. All checks are to be made payable to the Town of New Windsor. Seven (7) copies of the plans are required.

Signature of applicant

Harold Adams pres

Date

8/13/71

Application No.

TOWN OF NEW WINDSOR PLANNING BOARD

APPLICATION FOR SITE APPROVAL

Name BALMVILLE ESTATES - HAROLD ADAMS

Address HIGHLAND AVE MAYBROOK INY

1. Owner of the property BALMVILLE ESTATES

2. Location of the property OLD FORGE HILL ROAD

3. Zone area LB

4. Nature of business

5. Lot size: Front 100 Rear 45.08 Depth 205.08

6. Building setbacks: Front yard 40 Rear yard 45.08

Side yards 15/35

7. Dimensions of new building 50x120

Addition

If addition, state front, side, rear of existing structure:

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Zoning Ordinance be obtained, with particular attention to Article X to avoid rejection of the plans.

I do hereby affirm that all fees, permits and charges applicable under the laws and ordinances of the State of New York and the Town of New Windsor will be paid and that any expense for advertising of Public Hearing or meetings will be paid. Also, any legal or engineering fees for review of this project. Fees are due and payable upon submission of preliminary plans. All checks are to be made payable to the Town of New Windsor. Seven (7) copies of the plans are required.

Signature of applicant

Adopted 10/5/70

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval ☒ Subdivision _____

as submitted by Harold Adams (BALMVILLE Estates Inc.)

for the building or subdivision of Harold Adams

has been reviewed by me and is approved yes disapproved _____

If disapproved, please list reason.

HIGHWAY SUPERINTENDENT

State, County, Town.

WATER SUPERINTENDENT

Olafred Craig

SANITARY SUPERINTENDENT

Date _____

Application No. _____

TOWN OF NEW WINDSOR PLANNING BOARD

APPLICATION FOR SITE APPROVAL

Name BALMVILLE ESTATES

Address MAY BROOK N.Y.

1. Owner of the property BALMVILLE ESTATES

2. Location of the property ROUTE 32

3. Zone area LB

4. Nature of business PROFESSIONAL BLD

5. Lot size: Front 200 Rear 287.98 Depth 300

6. Building setbacks: Front yard 200 Rear yard 287.98

Side yards 47-5

7. Dimensions of new building 38 wide x 105 Depth

Addition ☒

If addition, state front, side, rear of existing structure:

Front 38- Side 144- 38 include Porch

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Zoning Ordinance be obtained, with particular attention to Article X to avoid rejection of the plans.

I do hereby affirm that all fees, permits and charges applicable under the laws and ordinances of the State of New York and the Town of New Windsor will be paid and that any expense for advertising of Public Hearing or meetings will be paid. Also, any legal or engineering fees for review of this project. Fees are due and payable upon submission of preliminary plans. All checks are to be made payable to the Town of New Windsor. Seven (7) copies of the plans are required.

Signature of applicant Harold W. Allen

Presubmission _____

Final approval _____

Adopted 10/5/70

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval New Mercantile Bld.
Subdivision _____ as submitted by Balmville Estates
for the building ~~or subdivision of~~ building
has been reviewed by me and is approved X disapproved _____

If disapproved, please list reason.

Consented

HIGHWAY SUPERINTENDENT

Joseph Craig

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

Date 10/19/71

Application No. _____

TOWN OF NEW WINDSOR PLANNING BOARD

APPLICATION FOR SITE APPROVAL

Name ~~WILLIAM J. DOCK~~ HAROLD ADAMS

Address MAYBROOK NEW YORK

1. Owner of the property HAROLD ADAMS

2. Location of the property RTE. 92 NEW WINDSOR

3. Zone area G1

4. Nature of business WAREHOUSING

5. Lot size: Front 312.98' Rear 312.98' Depth 354.73'

6. Building setbacks: Front yard 55' Rear yard 25'

Side yards 81'

7. Dimensions of new building 120' x 250'

Addition NONE

If addition, state front, side, rear of existing structure:

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Zoning Ordinance be obtained, with particular attention to Article X to avoid rejection of the plans.

I do hereby affirm that all fees, permits and charges applicable under the laws and ordinances of the State of New York and the Town of New Windsor will be paid and that any expense for advertising of Public Hearing or meetings will be paid. Also, any legal or engineering fees for review of this project. Fees are due and payable upon submission of preliminary plans. All checks are to be made payable to the Town of New Windsor. Seven (7) copies of the plans are required.

Signature of applicant Harold Adams

By: WILLIAM J. DOCK

Submission _____

Final approval _____

dated 10/5/70

BERNARD KESSLER, P.E.
Consulting Engineer
6 FLEETWOOD AVENUE
Spring Valley, N.Y. 10977

914 356-0217

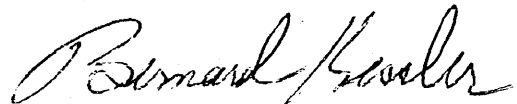
October 26, 1971

Town of New Windsor Planning Board

Re: Site Plan, Harold Adams:

Site Investigation: October 22, 1971

There are no engineering objections to the submitted site plan.

A handwritten signature in cursive script, reading "Bernard Kessler". The signature is written in dark ink and is positioned in the lower right quadrant of the page.

BERNARD KESSLER, P.E.
Consulting Engineer
6 FLEETWOOD AVENUE
Spring Valley, N.Y. 10977

914 356-0217

October 7, 1971

Town of New Windsor Planning Board

Re: Site Plan - Harold Adams - Professional Building

Site Investigation September 24, 1971

This site shows no problems related to access, drainage or parking, however the plan should show the following items prior to approval.

1. The size of the existing culvert and its exact location with respect to the new building.
2. The means of bank protection for the stream since it appears that the new building is to be placed directly over the stream thus making it inaccessible for future maintenance. This protection should be in the form of a culvert, or concrete channel lining, or riprap lining.

Bernard Kessler

BERNARD KESSLER, P.E.

Consulting Engineer

6 FLEETWOOD AVENUE

Spring Valley, N.Y. 10977

914 356-0217

August 6, 1973

Town of New Windsor Planning Board

Subject: Balmville Estates Site Plan.

A site investigation was made on Wednesday, August 1. The private entrance road is subject to heavy erosion conditions and the poor drainage coupled with heavy traffic loads has caused breaking up of the Route 32 drainage ditch at the site entrance.

I suggest that prior to issuance of any further Certificate of Occupancy (or Building Permit if the Board so wishes), a comprehensive plan of the road development be submitted and a proposed completion date for such development be provided to the Board. The plan should include a profile and drainage plan together with a heavy duty pavement design.

Bernard Kessler

Date

June 4 73

Application No.

73-48⁴⁹

TOWN OF NEW WINDSOR PLANNING BOARD

APPLICATION FOR SITE APPROVAL

Name

Balmville Estates Inc

Address

319 Highland Ave - Maybrook

1. Owner of the property

Harold J Adams pres. of Corp

2. Location of the property

Rt 32 in Rear of V.W. Autos

3. Zone area

G. I.

4. Nature of business

Industrial & Warehouse

5. Lot size: Front

180

Rear

180

Depth

250

6. Building setbacks: Front yard

50'

Rear yard

80'

Side yards

West 15' - East 85'

7. Dimensions of new building

80 x 120 - 14' High

Addition

If addition, state front, side, rear of existing structure:

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Zoning Ordinance be obtained, with particular attention to Article X to avoid rejection of the plans.

I do hereby affirm that all fees, permits and charges applicable under the laws and ordinances of the State of New York and the Town of New Windsor will be paid and that any expense for advertising of Public Hearing or meetings will be paid. Also, any legal or engineering fees for review of this project. Fees are due and payable upon submission of preliminary plans. All checks are to be made payable to the Town of New Windsor. Seven (7) copies of the plans are required.

Signature of applicant

Balmville Estates Inc
Harold J Adams
pres

Approved Oct. 10, 1973

Adopted 10/5/70



1763

OFFICE OF THE SUPERVISOR

TOWN OF NEW WINDSOR

Supervisor
Theodore F. Marsden
555 Union Avenue
New Windsor, New York 12550
(914) 565-8800

October 5, 1973

Planning Board
555 Union Avenue
New Windsor, New York 12550

SUBJECT: Harold Adams Property
Rt. 32

Gentlemen:

In reply to Mr. Austria's letter requesting assistance from myself and/or the Town Board this matter was discussed with the Town Board at the Regular Meeting of the 3rd of October, 1973 and referred to the Town Attorney.

The following is the recommendation I am making solely on my behalf inasmuch as you requested assistance from either myself or the Town Board and this would be a personal response to Mr. Austria's letter.

Inasmuch as this land can be serviced by water and sewer from a small portion of the property that abuts Rt. 32 I don't think that there should be any great concern with regards to providing water and sewer to this one site. However, inasmuch as this is a private road not owned by Mr. Adams (having a right of way) I think that he should secure permission from the owner to provide dust free surface and if this road is intended to be dedicated to the Town at any future time, advise that road surfacing to meet the standards of the Town of New Windsor's Road Specifications found in Chapter 60 of the Code be met, however, if this is to be maintained as a private ingress and egress for those using it, this permanent dust free surface would be sufficient.

I would also feel that the applicant should be advised in the event that future development of any area owned by him or any other parties that necessary bonds for extension of water mains not less than 8 in. and appropriate sewer mains should be considered and/or opposed by the developer so that monies are available if and when any future development comes in and if other developers are involved then of course this bond could be divided equally among participants who would benefit from this service.



1763

OFFICE OF THE SUPERVISOR

TOWN OF NEW WINDSOR

Supervisor
Theodore F. Marsden
555 Union Avenue
New Windsor, New York 12550
(914) 565-8800

Planning Board

-2-

Please accept this as an individuals recommendation so that Mr. Adams can be reviewed with some assurances and the Planning Board can protect iteself by having all agencies, Water, Sewer and Highway cleared and inasmuchas this is a state highway I think that before final approval that their review and approval should be received.

I wish to thank you for your solicitation of my advise in this matter and again I would advise you that they are personal feelings and do not reflect Town Board action which should be coming to you in the near future.

Respectfully

Theodore F. Marsden
THEODORE F. MARSDEN
Supervisor

TFM/km
cc: Mr. Adams

7/19/73

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by _____
for the building or subdivision of LANDS OF ADAMS
has been reviewed by me and is approved _____ disapproved ✓

If disapproved, please list reason.

Yes:

I have received numerous complaints in this
area regarding dust conditions. I believe
that this road should be surface treated
before any more building is contemplated

Joseph F. Dwyer

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

Planning Board.

(3)

7-11-73
J

July 2, 1973


Mr. Harold Adams
Box 4053
New Windsor, New York

Dear Sir:

Per our conversation of June 29, 1973 regarding a sewer line from Rt. 32 to the sub-division, I recommend that an eight inch pipe be used as a main sewer line and should be indicated on maps being submitted to the Planning Board for review.

Other requirements and recommendations shall be made by this department when primary review is received from the Planning Board.

Respectfully,


Lyman Masten Jr.
Sanitation Superintendent

Copy to: Conrad Stenglein
Planning Board



P. O. Box 505
Maybrook, New York
TELEPHONE:
MAYBROOK HAZEL 7-2231

Harold J. Adams

INDUSTRIAL BUILDING CONSULTANT

Planning Board
Town of New Windsor
Dear Sirs

Sept 26 - 73

Be it here known that
Balmwill Estater Inc will
apply for a review of its
Building plans on its lands
PT 32 in Rear of ~~W~~ W auto sales
to the Zoning Board of appeals
And this Board wish to
Communicate please write
Milton M Schusskin
2 Main St
Highland Falls
Harold J Adams
pres



OFFICE OF THE PLANNING BOARD

TOWN OF NEW WINDSOR

555 Union Avenue
New Windsor, New York 12550
(914) 565-8808

September 21, 1973

Hon. Theodore Marsden, Supervisor
Town of New Windsor
Town Hall
Union Avenue
New Windsor, New York 12550

Re: Application of Harold Adams
(Balmville Estates Site Plan 73/49)

Dear Mr. Marsden:

As you may already know, the Planning Board has denied approval of the above-referenced site plan. The reason for the Board's action was that the applicant was unable to provide a plan with a suitable means of ingress and egress to the proposed structure; it seems that Mr. Adams, as well as the other users of the present driveway, have merely rights-of-way over the land reputedly owned by one Mr. Stenglein. The problem here, of course, is that the users of the driveway are reluctant to incur any expense insofar as the improvement of the driveway is concerned. Their collective points are well-taken, understandably so.

Nevertheless, in the Board's opinion, the present condition of the driveway is a nuisance and detriment to the Town's well-being. The Board has instructed me to solicit your aid, as well as the Town Board's, in rectifying the aforesaid situation.

Thanking you for your anticipated cooperation looking into this matter, I remain

Very truly yours,

AGA:ec

ANTHONY G. AUSTRIA

cc: Planning Board
John Stanton, Esq.

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval _____
Subdivision _____ as submitted by _____
for the building or subdivision of BALM VILLAGE ESTATES
has been reviewed by me and is approved ☒ disapproved _____

~~if disapproved~~, please list reason.

1" COPPER LINE.

HIGHWAY SUPERINTENDENT _____

Joseph Craig
WATER SUPERINTENDENT

SANITARY SUPERINTENDENT _____

DATE

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval XXXXXXX
Subdivision _____ as submitted by Harold Adams
for the building or subdivision of Lands of Adams
has been reviewed by me and is approved _____ disapproved XXXXXXX

If disapproved, please list reason.

Submitted map, File No. 2093, does not indicate sewer lines as discussed with Mr. Adams in June of 1973.

Further requirements, such as bonds and inspection and testing of sewer lines after construction, shall be requested after map indicating proposed sewer line is submitted to this department.

HIGHWAY SUPERINTENDENT

WATER SUPERINTENDENT

SANITARY SUPERINTENDENT

DATE

July 19, 1973

WATER, SEWER, HIGHWAY REVIEW FORM:

The maps and plans for the Site Approval Balmville Estates
Subdivision _____ as submitted by George Shaw Jr. P.E.
for the building or subdivision of _____
has been reviewed by me and is approved Conditional ~~XXXXX~~ d. approved _____

~~If disapproved~~ please list reason.

1. Recommended 6" sewer service line with T Y clean outs at intervals not to exceed 75 ft.
2. Must. have sanitary permit and notify this department for inspection.
3. Mr. Adams has bond to cover the construction of the line.

HIGHWAY SUPERINTENDENT _____

WATER SUPERINTENDENT _____

Lyman D. Masten Jr.
SANITARY SUPERINTENDENT

August 8, 1973
DATE



OFFICE OF THE PLANNING BOARD

TOWN OF NEW WINDSOR

555 Union Avenue
New Windsor, New York 12550
(914) 565-8808

23 July 1973

Hon. Joseph Tallarico, Chairman
Planing Board, Town of New Windsor
Town Hall
555 Union Avenue
New Windsor, New York 12550

Re: Application of Harold Adams
(Balmville Estates Site Plan #73/49)

Dear Mr. Tallarico:

In reference to your referral to me of the legal question regarding the above application, please be advised that my opinion is as follows:

Although the Planning Board may properly require that the means of egress and ingress to the site under consideration meet Town road specifications, the Board would be without requisite jurisdiction to compel the applicant to construct same, himself; the reason for this is that Mr. Adams does not own the road and has merely a right-of-way thereover. On the other hand, however, the Board may properly deny approval of the site plan application, if the road to the said site would be detrimental to the welfare and safety of the town. In view of the foregoing, therefore, I strongly urge that Mr. Adams, other users of the road under rights-of-way granted by the owner, and the owner take it upon themselves to work toward a mutually satisfactory solution to the problem. In the meanwhile, however, I conclude that the Board may properly reject the site plan submitted unless and until the Board is satisfied with the details incidental thereto.

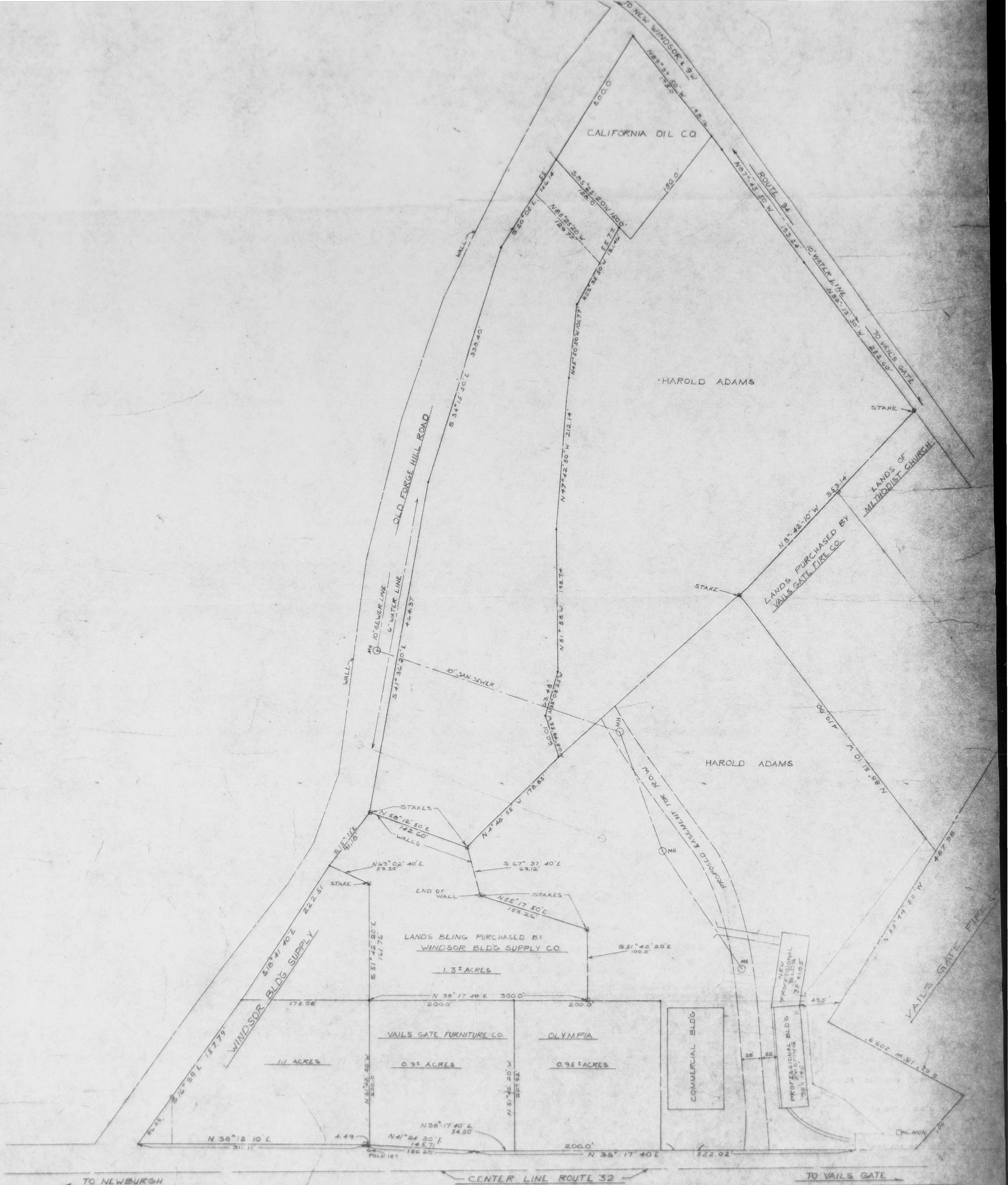
If you have any questions, please do not hesitate to contact me.

Very truly yours,

ANTHONY G. AUSTRIA JR.,
Planning Board Attorney

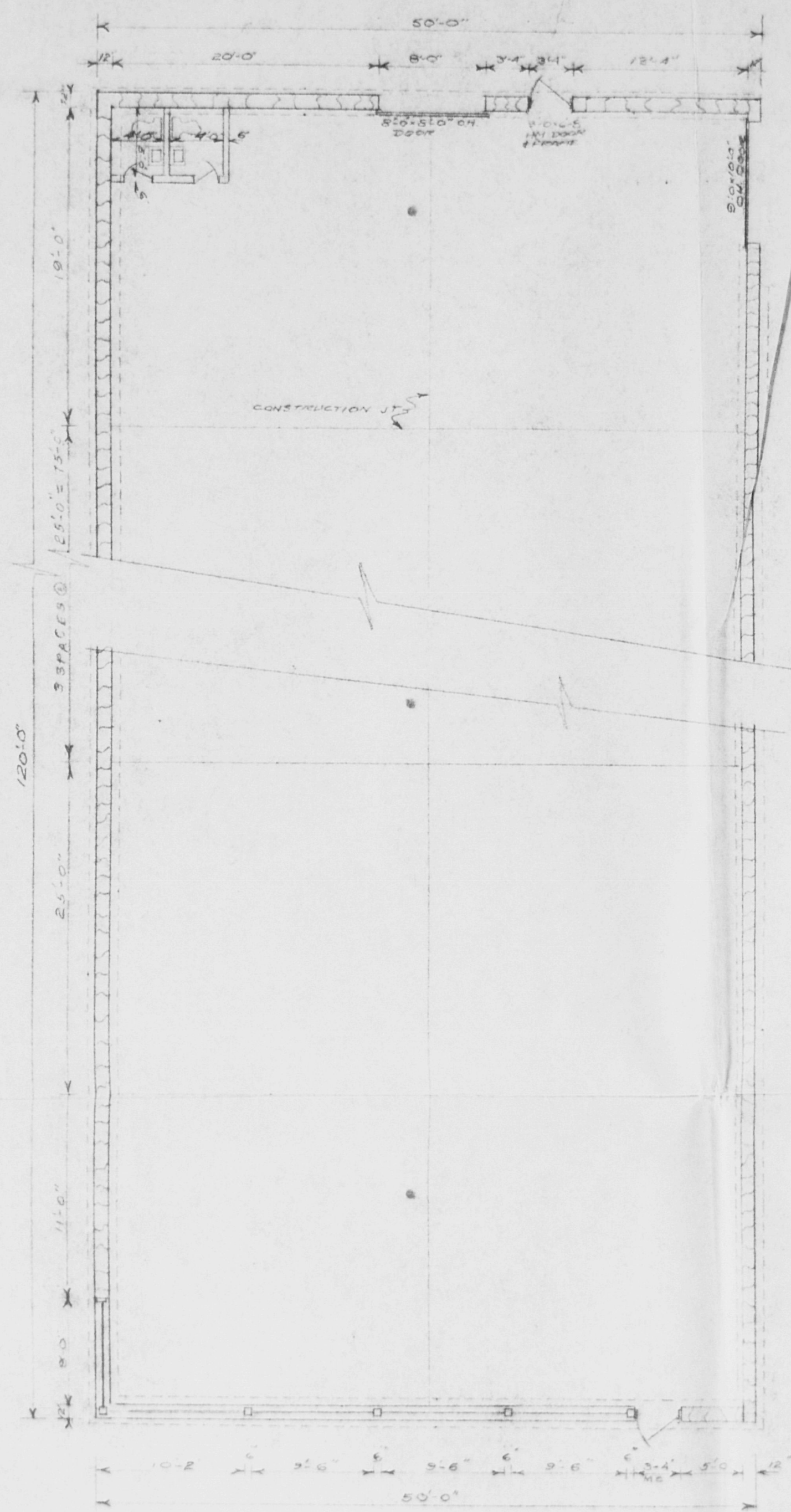
AGA/r1

cc: John Stanton Esq.
Hon. Theodore Marsden
New York State Dept. of Transportation
Orange County Planning Department

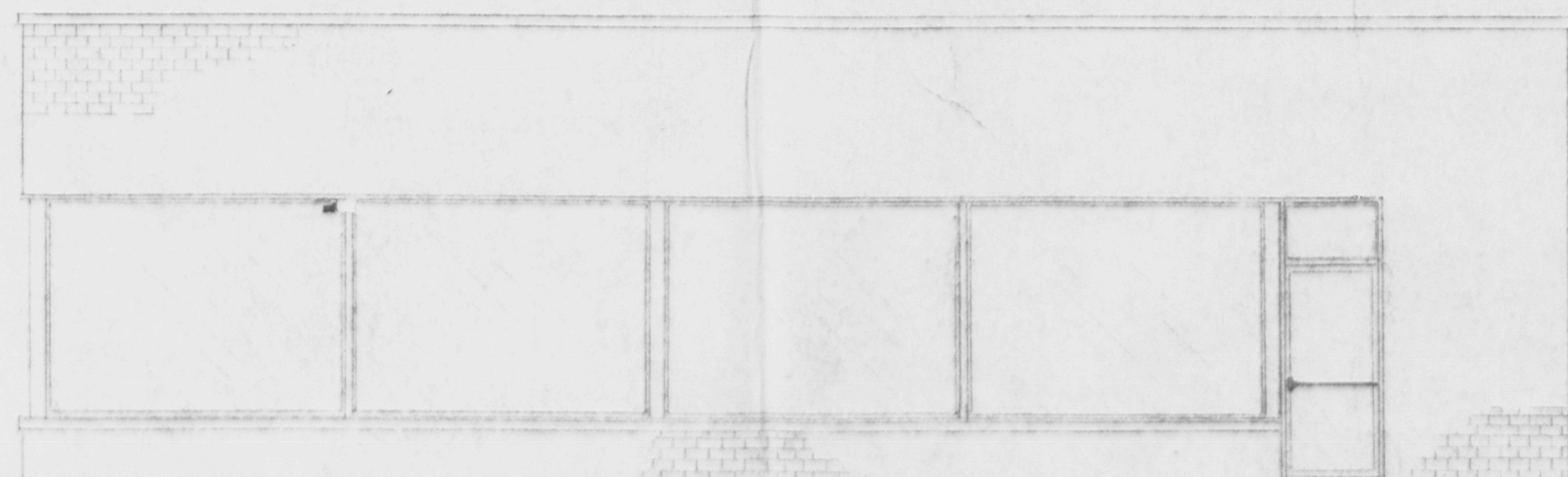


MAP
PORTION OF LANDS OF
FORGE HILL FARM
TOWN OF NEW WINDSOR, ORANGE CO., NY
SCALE: 1"=60' MAY 20, 1960

RECEIVED, TOWN OF NEW WINDSOR
PLANNING BOARD 5-22-71
BY *Norman R. [Signature]*

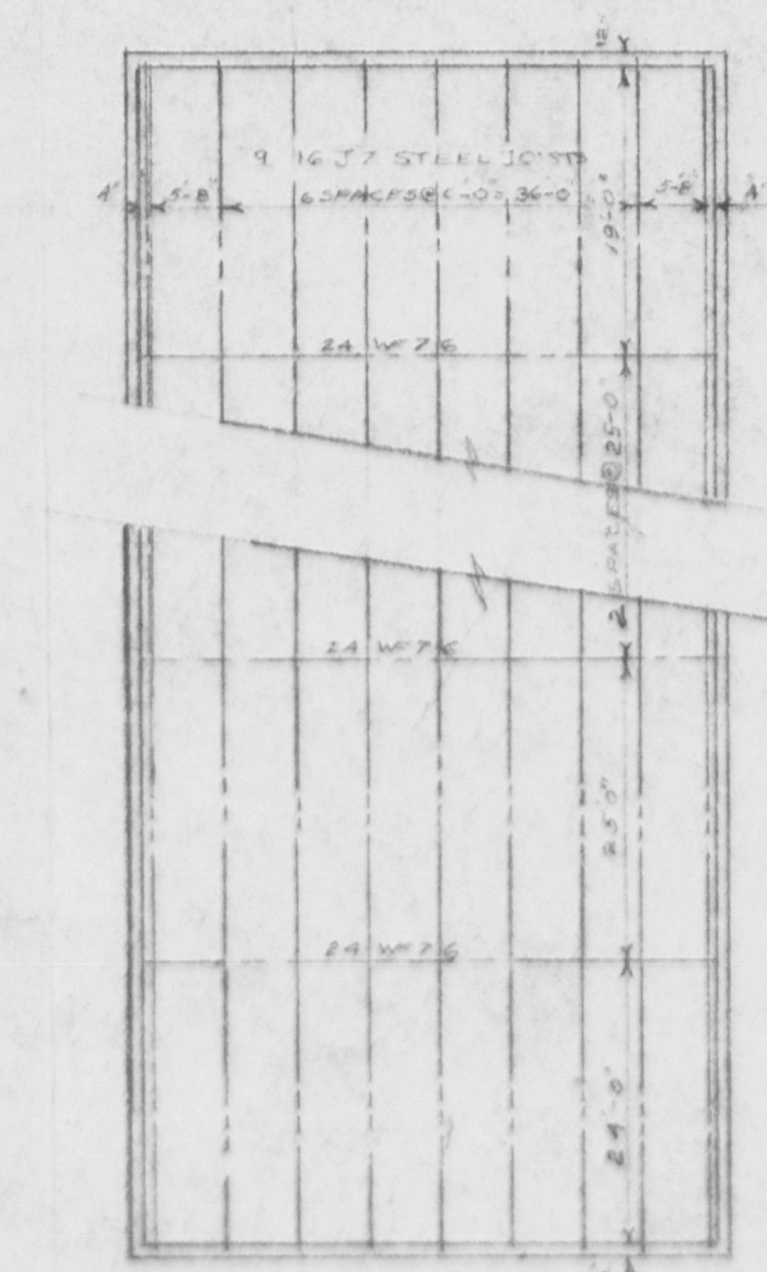
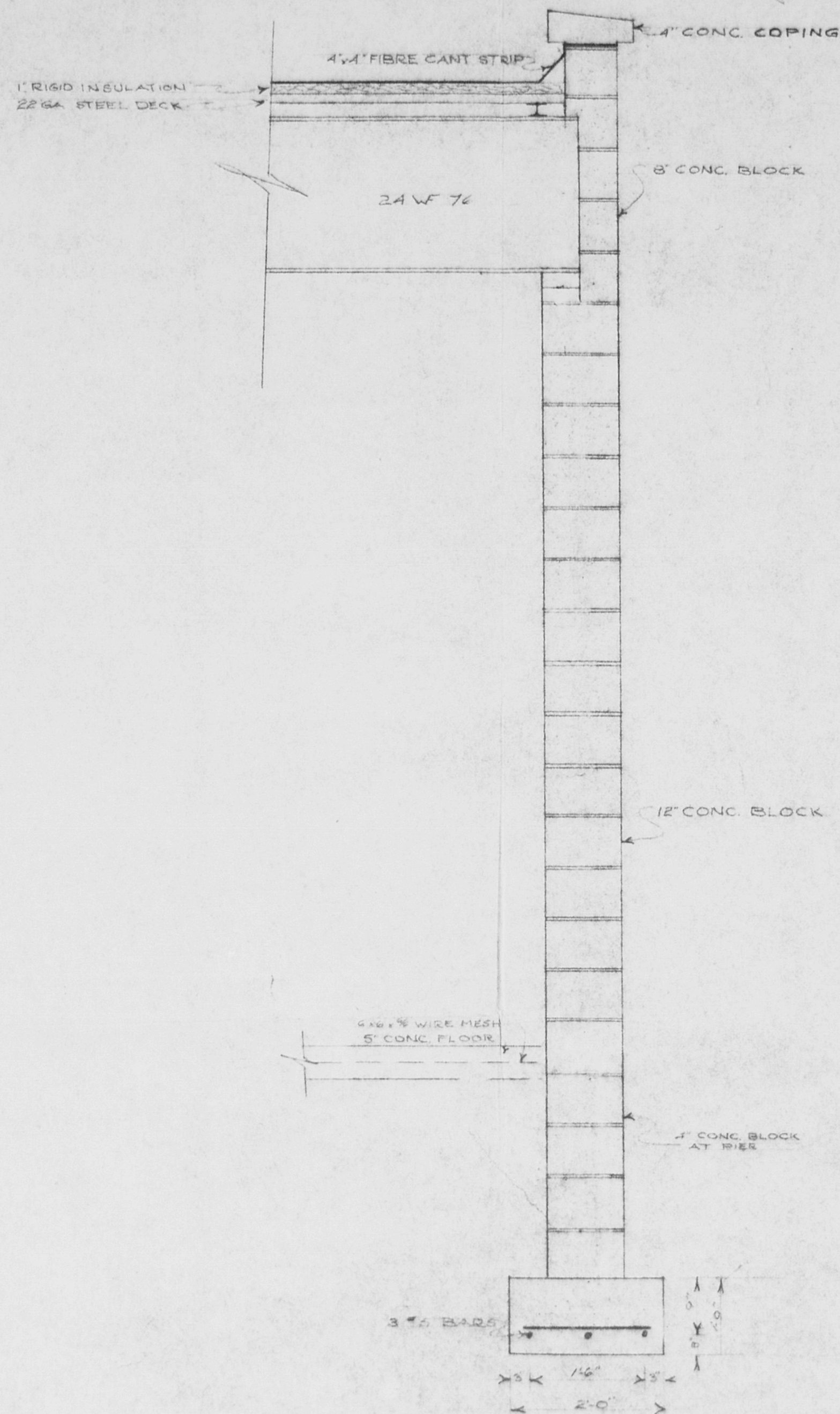


FOUNDATION & FLOOR PLAN

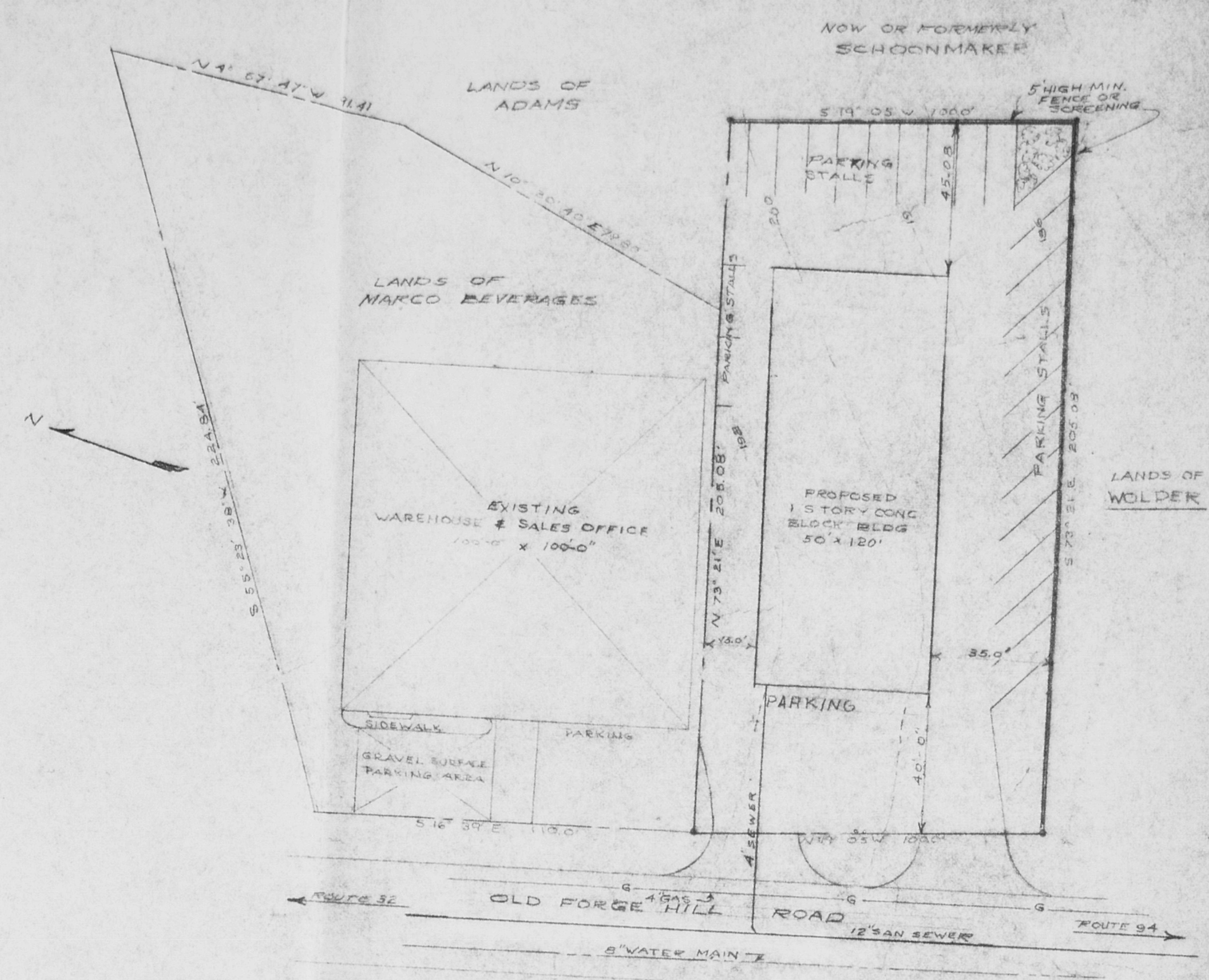


FRONT ELEVATION

NOTE
ALTERNATE FRONT ELEVATION WOULD
PROVIDE DOOR IN CENTER OF BLDG INSTEAD
OF ON RT SIDE AS SHOWN



STEEL FRAMING PLAN



SITE PLAN
SCALE 1" = 30'-0"

NEWBURGH CITY SCHOOL DISTRICT
ZONING LB DISTRICT

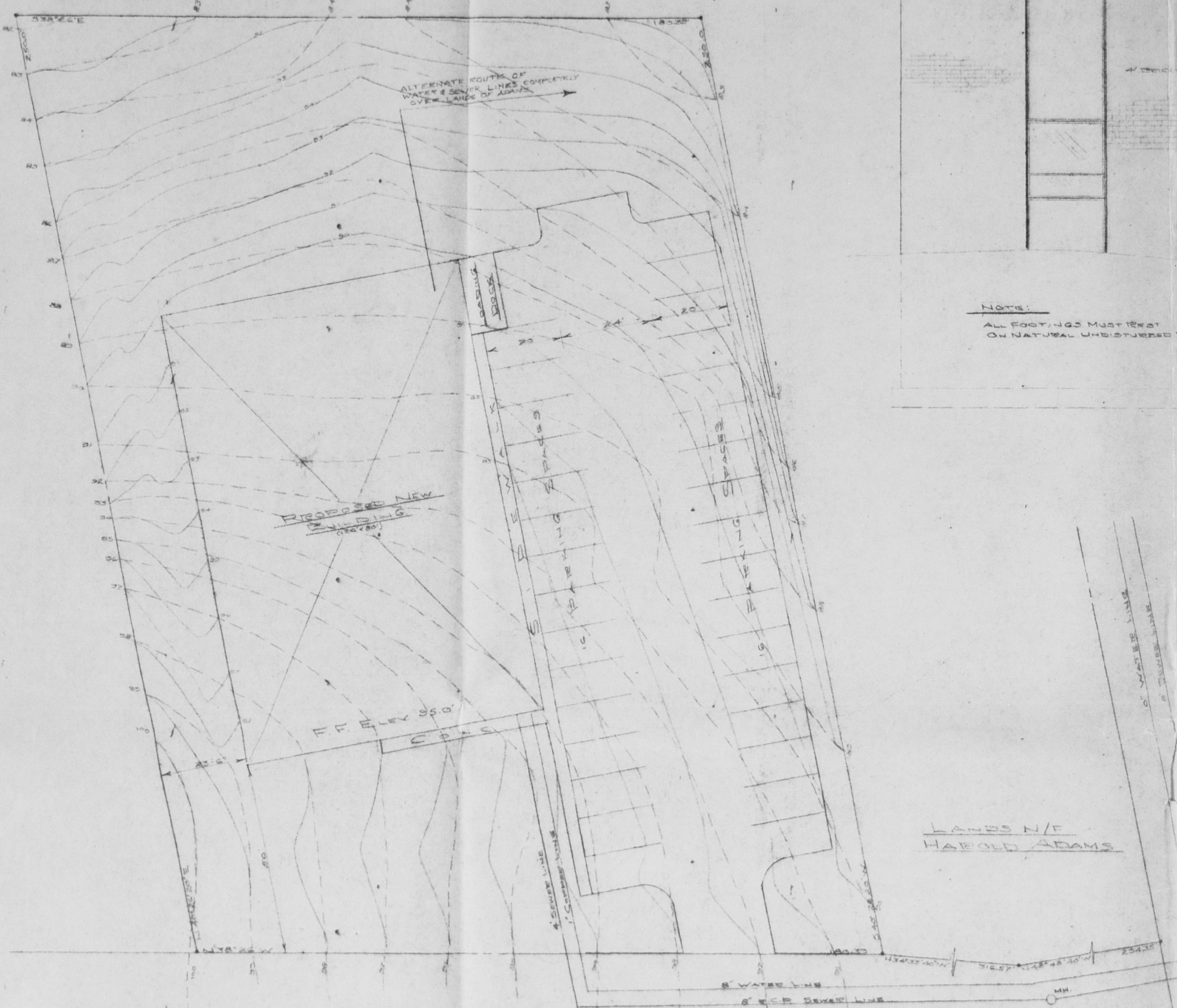
Rec'd 5-22-71

RECEIVED TOWN OF NEWBURGH
PLANNING BOARD 5-12-71
BY Micron Kow

REVISED APRIL 5 1971
REVISED JAN 20 1969

PLANS ELEV. & SECTION		FILE
NEW MERCANTILE BLDG		DATE 11/10/68
FOR		DRAWN BY G.P.S.
BALMYVILLE ESTATES INC.		CHECKED BY G.P.S.
MARBLE AVENUE, HIGHLAND AVE, NEWBURGH		DATE 12/10/68
GEORGE J. CHAW JR. P.E.		REVISION NO. 1
172 LIBERTY STREET		
NEWBURGH, N.Y.		

LANDS N/E
CONRAD, STENG EIM



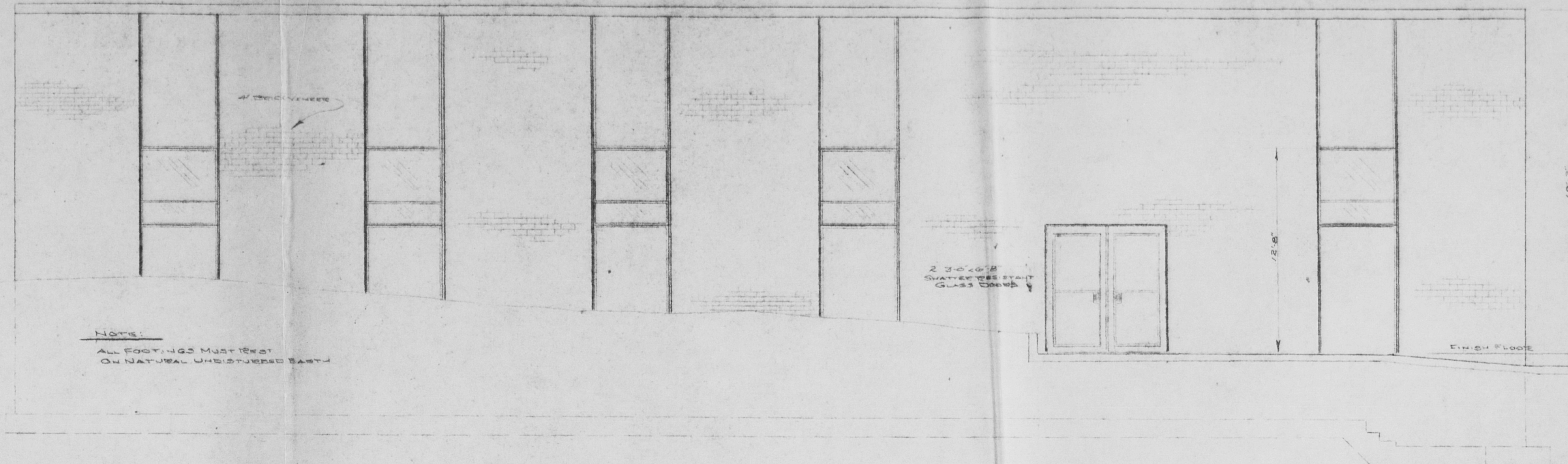
PRIVATE ROAD

LANDS N/E
HAROLD ADAMS

LANDS N/E
LASINIS RESTAURANT

S I T E P L A N

NOTE:
SURVEY INFORMATION TAKEN FROM
DANIEL A. B. SURVEYOR OF LANDS OF
CONRAD & STENG EIM TOWNSHIP
NEW WINDSOR, ONTARIO, ON
FROM SURVEY BY T. J. B. STONE, JUNE 8, 1987



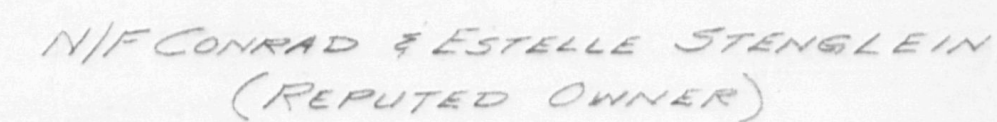
NOTE:
ALL FOOTINGS MUST REST
ON NATURAL UNDISTURBED EARTH

S O U T H E L E V A T I O N

S I T E P L A N I N F O R M A T I O N

ZONE	GI
LOT AREA (M ²)	10,000 SQ. FT.
WIDTH	150 FT.
DEPTH	150 FT.
FRONT YARD SETBACK (M ²)	20 FT.
SIDE	15 FT.
REAR	20 FT.
PARKING	72 SPACES
(1 SPACE PER 100 SQ. FT. FLOOR AREA)	
NEW WINDSOR SCHOOL DIST.	
RECORD OWNER	HAROLD ADAMS

SITE PLAN	FILE NO. 2081
PROPOSED NEW BLDG	DRAWN BY GFS
FOR	CHECKED BY [Signature]
BALMVILLE ESTATES	DATE 8/10/13
GEORGE J. SHAW JEFFE	SIGNATURE [Signature]
177 LIBERTY ST. NEWBURGH, NY	1



- NOTES:-
- 1) ALL PARKING STALLS TO BE 10'x20'
 - 2) WATER & SEWER LINES TO BE PLACED AS ORDERED BY TOWN
 - 3) LANDSCAPE PLAN TO BE PREPARED BY OTHERS
 - 4) USE PRE-CAST CONCRETE CURBING OR RAILROADS TIES FOR DELINEATION & FOR PARKING BUMPERS A.O.B.E.
 - 5) DRIVEWAY TO PARKING & TRUCKING AREAS TO MEET EXISTING GRADES AT PRIVATE ROAD

RECEIVED. TOWN OF NEW WINDSOR
PLANNING BOARD 10-13-71
BY Merrin R. K. Sig
Final Site Plan APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON 10/22/71
Merrin R. K. Sig



PROPOSED WAREHOUSE SITE PLAN

LANDS OF

HAROLD ADAMS

ROUTE 32 TH. OF NEW WINDSOR
ORANGE CO. NEW YORK

PLANNER:

VINCENT J. DOCE
PLS. 044604

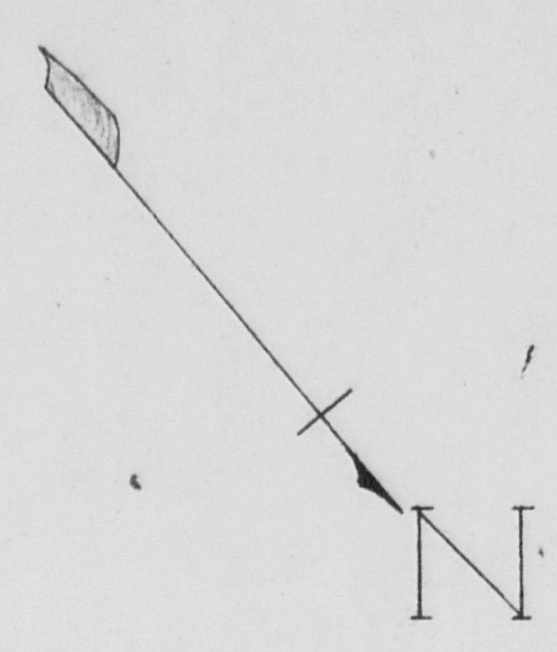
DARAN PARK, NEWBURGH, N.Y.

BY: FRANK S. PANARO

DRAWN BY: FRANK S. PANARO

DATE: 10-13-71 SCALE 1"=30'

TO YOUNG GENT



15-1

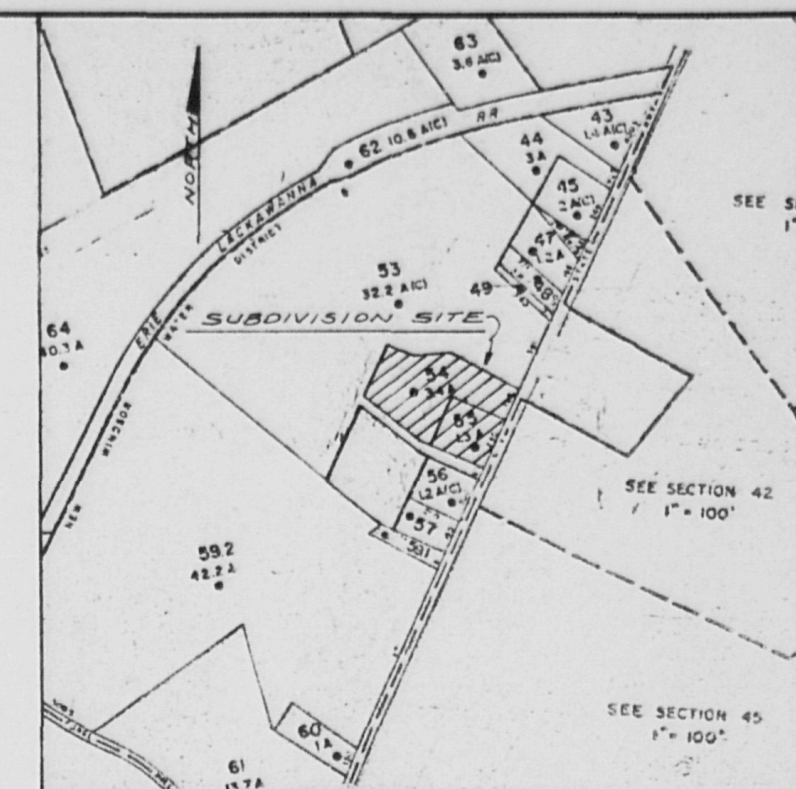
	SITE PLAN	SHEET 2093 SECTION VI G.P.S. DATE <i>8/85</i> SCALE <i>1" = 500'</i> DATE <i>THU/13</i> SCALE <i>1</i>
	COMPOSITE SITE PLAN OF LANDS OF ADAMS	
	WINDING HIGHWAY	N. & W. SIDE

NOTE:

ZONE	GI
LOT AREA (MIN)	40000 SQ. FT.
WIDTH	150 FT.
DEPTH	150 FT.
FRONT YARD SETBACK (MIN)	50 FT.
SIDE	15 FT.
REAR	20 FT.
PARKING (1-SPACE PER 300 SQ. FT. FLOOR AREA)	102 SPACES
NEW WINDSOR SCHOOL DIST.	



NOTE:
CONTOURS ARE
PROPOSED GRADING
BY GEORGE J. SHAW JR. P.E.



LOCATION PLAN
1" = 900'

RECORD OWNER - BALMVILLE ESTATES, INC.,
BOX 4053, NEW WINDSOR, N.Y. 12550
% HAROLD ADAMS

SUBDIVIDER - SAME



REVISED	NATURE OF REVISION	REVISED	NATURE OF REVISION

MAP

SHOWING LANDS OF

BALMVILLE ESTATES INC.

TN. OF NEW WINDSOR ORANGE CO. N.Y.

SCALE 1" = 50' JUNE 18, 1975

DRAWN BY	EUSTANCE & HOROWITZ PC CIRCLEVILLE, N. Y. 10919	DWG. #
CHKD BY		JOB #